

TOWN OF MAMAKATING

DEPARTMENT OF BUILDINGS

2948 ROUTE 209

WURTSBORO, NY 12790

TEL. (845) 888-3030

FAX. (845) 888-2707

WELL DRILLING PERMITS (INSTRUCTIONS)

PRIOR TO USING ANY WELL DRILLED IN THE TOWN OF MAMAKATING A CERTIFICATE OF COMPLIANCE MUST BE OBTAINED FROM THE BUILDING DEPARTMENT

Procedure for approval of well installation and issuance of a Certificate of Compliance:

- Well drillers' "Well Completion Report" from the DEC must be submitted to the Building Department.
- In accordance with Sullivan County Local Law 13 of 1977 and the aforementioned Town of Mamakating Zoning Ordinance, all electrical work regarding the installation of a water pump and its electrical supply shall be done by a Sullivan County Licensed Electrical Contractor, shall conform to all Local State and National electrical codes and shall be inspected by a certified electrical inspector who has been approved and registered by the Town of Mamakating Building Department.
- A certified water quality test report is required to be submitted to the Building Department.
- Upon completion of the above items, contact the Building Department to obtain a Certificate of Compliance.

Town of Mamakating Building Department

2948 Route 209
Wurtsboro, NY 12790
Telephone (845) 888-3030
Fax (845) 888-2707

Application For Well Permit

Date Submitted: ___ / ___ / ___ Zone: _____ Section: _____ Block: _____ Lot: _____

Attachments which must be submitted with this Completed Signed Application:

- Plot Plan** (Must show distance to all structures as well as distances to each other, all property lines & proposed construction and must include all neighboring wells & septic location.
- Copy of Deed** (Showing ownership)
- Copy of your Paid Property Taxes**

All fees paid in relation to such an application will be non-refundable and non-transferable.

Property Owner's Name: _____

Property Owner's Mailing Address: _____ Phone#: _____

Email Address: _____

Street Address of Proposed Work: _____

Well drillers' name: _____ Phone#: _____

Address: _____ NYSDEC reg#: _____

New Well: _____ . Replace existing Well: _____

Fee \$50.00

To Correct Violation: \$150.00

The Town of Mamakating Building Department can only issue a will drilling permit if the proosed well site conforms to the separation requirements designated by the New York State Department of Health and Chapter 195 of the Town Ordinance. In order to determine whether your proposed well site will comply with Chapter 195 of the Town Ordinance, it will be necessary for you to indicate the following on a site plan:

1. A map showing Separation distances between your septic tank, leaching fields, and the proposed well site.
 2. Also on the map the well site and location of all structures, septic tanks, and leach fields within 200' radius of the well site.
 3. The elevations between the proposed well site and each indicated septic (uphill & downhill).
- In the event that the proposed well does not meet the separation requirements delineated in 10 NYCRR, Appendix 5-B (copy available for review in Building Department) it will be required that additional designs and certifications be provided by a New York State professional engineer as outlined in Chapter 195. All as-built construction must also be certified by said PE.

APPLICATION FOR BUILDING PERMIT

Pursuant to New York State Uniform Fire Prevention and Building Code and Town Ordinances

INSTRUCTIONS

- This application must be completed and submitted with proof of ownership to the Code Enforcement Officer
- A plot plan showing location of lot and buildings on premises, relationship to adjoining premises or public streets or areas, and showing well and septic locations must be submitted with this application
- This application must be accompanied by two (2) complete sets of plans showing proposed construction and two (2) complete sets of specifications. Plans and specifications shall describe the nature of the work to be performed, the materials and equipment to be used and installed, details of structural, mechanical, electrical and plumbing installations.
- **New construction and additions impacting an existing septic system must include a septic system design with your as well as all neighboring well locations that has prepared and stamped by a New York State licensed professional engineer.**
- If proposed driveway enters a town road, a town highway permit required. County and State highway permits must be obtained from the appropriate jurisdiction. Gradients may not exceed 14% and surveyor certification of such may be required.
- A certificate of Workmen's Compensation made out to the Town of Mamakating or an appropriate waiver is required for all permits.
- The work covered by this application may not be commenced before the issuance of a building permit.
- Upon approval of this application, the Code Enforcement Officer will issue a building permit to the applicant together with approved duplicate set of plans and specifications. Such permit and approved plans and specifications shall be kept on the premises, available for inspection throughout the progress of the work.
- The clear cutting of more than one acre without approvals for the Town Planning Board is prohibited.

Every building permit shall expire if the work authorized has not commenced within six (6) months after the date of issuance or has not been completed within the time granted for said construction.

Note: No building shall be occupied or used in whole or part for any purpose whatsoever until a Certificate of Occupancy has been granted by the Code Enforcement Officer.

Required Inspections that must be requested by applicant

- Inspection #1:** When footing forms and rebar are in place, prior to concrete
- Inspection #2:** When wall forms and rebar are in place, prior to concrete
- Inspection #3:** When foundation is completed and waterproofed and footing drains are installed and stone, fabric & hay are in place.
- Inspection #4:** When floor has plastic and wire installed, prior to concrete
- Inspection #5:** When framing and roof are completed, stairs must be installed, rough electric installed and inspected, rough plumbing in place with pressure test on for Building Inspector to witness Ice & Water Shield.
- Inspection #6:** Insulation must be completed – (No Sheetrock) All vertical holes between floors, ceilings, wires, plumbing and etc. must be sealed.
- Inspection #7:** When septic is completely installed and prior to covering Building Inspector to witness. Engineers sign off / verification in writing with signature & stamp.
- Inspection #9:** Final – Building must be completely finished, interior & exterior, septic final, final "as built" survey, 911# posted, water test, well log, driveway final and final electric inspection. All of the above must be obtained prior to final scheduling final walk through inspection.

The Homeowner OR contractor MUST provide insurance coverage. IF you are the homeowner and are providing insurance – you need to fill out the Affidavit of Exemption as well as provide a copy of your home owners. Contractors MUST provide Certificate of Insurance listing Town of Mamakating as the insured.

Proof of Workman's Compensation coverage (check one): Workman's Compensation policy enclosed _____, Homeowners Affidavit of Exemption enclosed _____

Application is hereby made to the Building Department for the issuance of a Building Permit pursuant to the New York State Codes and Ordinances of the Town Mamakating for the construction of buildings, additions, alterations, or for removal, demolition or use of property, as herein described. It is the policy of this department to abandon and destroy, without notification, any application that has been left dormant by the owner or agent thereof for 90 days. **Every building permit shall expire if the work authorized has not commenced within six (6) months after the date of issuance or has not been completed within six (6) months from such date of construction.**

A CERTIFICATE OF COMPLIANCE MUST BE ISSUED IN ACCORDANCE WITH SECTION 195-6 PRIOR TO USING A NEW WELL

The applicant agrees to comply with all applicable laws, ordinances, and regulations:

Signature of property owner

Phone Number

Date

Mailing Address

Please Note

Inspections Must Be Scheduled 24 Hours In Advance

By Speaking Directly To The Clerk

845-888-3030 or 845-888-3031

****INSPECTIONS REQUESTED ON THE VOICE MAIL WILL NOT BE SCHEDULED ****

A FINAL INSPECTION IS REQUIRED FOR ALL BUILDING PERMITS

APPLICATION FOR BUILDING PERMIT

Pursuant to New York State Uniform Fire Prevention and Building Code and Town Ordinances

INSTRUCTIONS

- This application must be completed and submitted with proof of ownership to the Code Enforcement Officer
- A plot plan showing location of lot and buildings on premises, relationship to adjoining premises or public streets or areas, and showing well and septic locations must be submitted with this application
- This application must be accompanied by two (2) complete sets of plans showing proposed construction and two (2) complete sets of specifications. Plans and specifications shall describe the nature of the work to be performed, the materials and equipment to be used and installed, details of structural, mechanical, electrical and plumbing installations.
- New construction and additions impacting an existing septic system must include a septic system design with your as well as all neighboring well locations that has prepared and stamped by a New York State licensed professional engineer.
- If proposed driveway enters a town road, a town highway permit required. County and State highway permits must be obtained from the appropriate jurisdiction. Gradients may not exceed 14% and surveyor certification of such may be required.
- A certificate of Workmen's Compensation made out to the Town of Mamakating or an appropriate waiver is required for all permits.
- The work covered by this application may not be commenced before the issuance of a building permit.
- Upon approval of this application, the Code Enforcement Officer will issue a building permit to the applicant together with approved duplicate set of plans and specifications. Such permit and approved plans and specifications shall be kept on the premises, available for inspection throughout the progress of the work.
- The clear cutting of more than one acre without approvals for the Town Planning Board is prohibited.

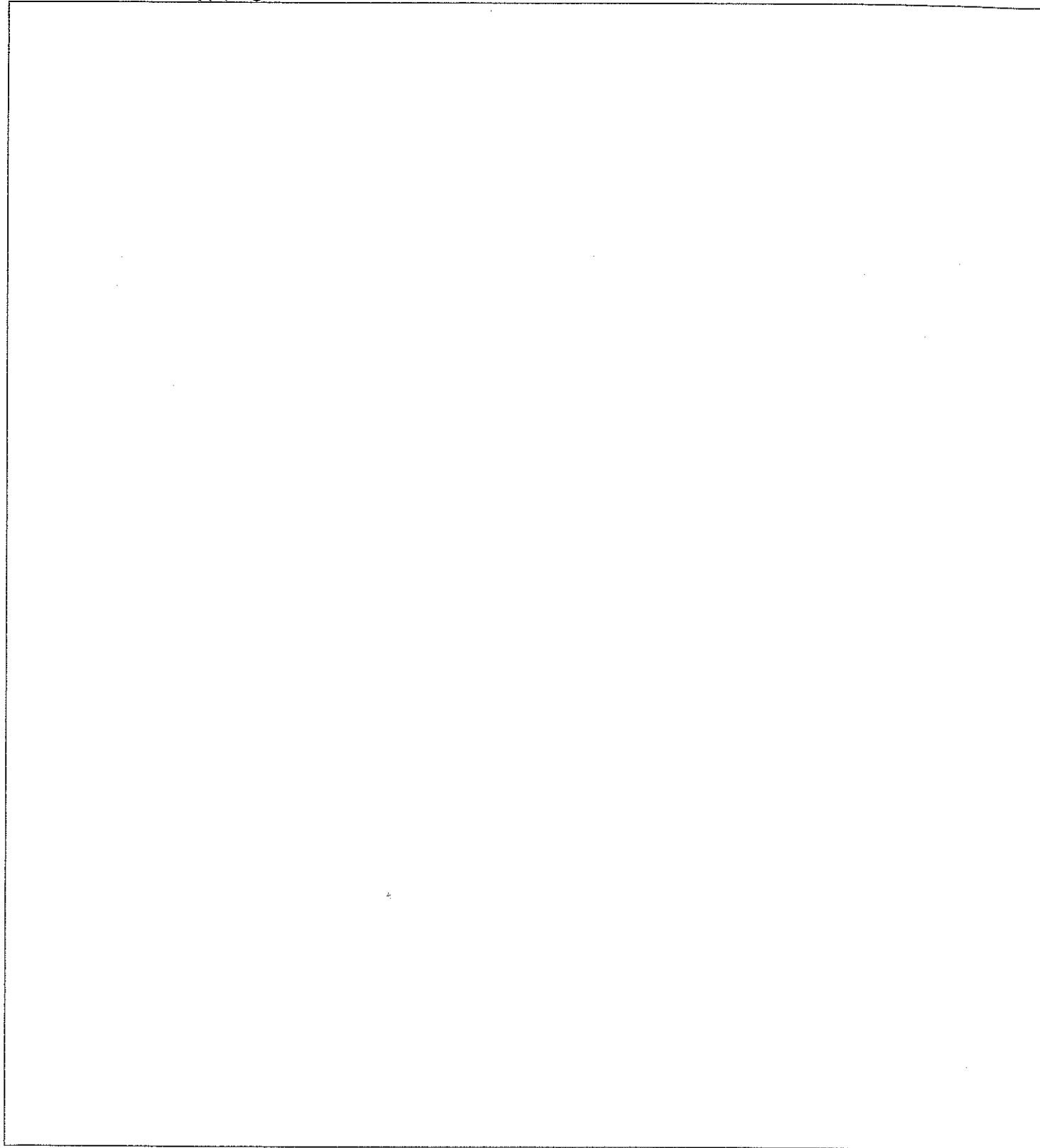
Every building permit shall expire if the work authorized has not commenced within six (6) months after the date of issuance or has not been completed within the time granted for said construction.

Note: No building shall be occupied or used in whole or part for any purpose whatsoever until a Certificate of Occupancy has been granted by the Code Enforcement Officer.

Required Inspections that must be requested by applicant

- Inspection #1:** Site Inspection.
- Inspection #2:** When footing forms and rebar are in place, prior to concrete
- Inspection #3:** When wall forms and rebar are in place, prior to concrete
- Inspection #4:** When foundation is completed and waterproofed and footing drains are installed and stone, fabric & hay are in place.
- Inspection #5:** When floor has plastic and wire installed, prior to concrete
- Inspection #6:** When framing and roof are completed, stairs must be installed, rough electric installed and inspected, rough plumbing in place with pressure test on for Building Inspector to witness
- Inspection #7:** Ice & Water Shield.
- Inspection #8:** Insulation must be completed – (No Sheetrock) All vertical holes between floors, ceilings, wires, plumbing and etc. must be sealed.
- Inspection #9:** When septic is completely installed and prior to covering Building Inspector to witness. Engineers sign off / verification in writing with signature & stamp.
- Inspection #10:** Final – Building must be completely finished, interior & exterior, septic final, final "as built" survey, 911# posted, water test, well log, driveway final and final electric inspection. All of the above must be obtained prior to final scheduling final walk through inspection.

Plot Diagram: Clearly Locate ALL Buildings/Structures, Well & Septic. Locate proposed Alteration to your property site plan for which you are applying.



STATEMENT OF EXEMPTION TO SHOW SPECIFIC PROOF OF WORKERS' COMPENSATION INSURANCE
Coverage for a 1, 2, 3 or 4 Family, Owner-occupied Residence

Under penalty of perjury, I certify that I am the owner of the 1, 2, 3 or 4 family, owner-occupied residence (including condominiums) listed on the building permit that I am applying for, and I am not required to provide specific proof of workers' compensation insurance coverage for such residence because (please check appropriate box):

- I am performing all the work for which the building permit was issued.
- I am not hiring, paying or compensating in any way, the individual(s) that is(are) performing all the work for which the building permit was issued or helping me perform such work.
- I have a homeowners insurance policy that is currently in effect and covers the property listed on the attached building permit AND am hiring or paying individuals a total of less than 40 hours per week (aggregate hours for all paid individuals on the jobsite) for which the building permit was issued.

I also agree to either:

- ♦ acquire appropriate workers' compensation coverage and provide appropriate proof of that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit if I need to hire or pay individuals a total of 40 hours or more per week (aggregate hours for all paid individuals on the jobsite) for work indicated on the building permit; OR
- ♦ have the general contractor, performing the work on the 1, 2, 3 or 4 family, owner-occupied residence (including condominiums) listed on the building permit that I am applying for, provide appropriate proof of workers' compensation coverage or proof of exemption from that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit if the contractor takes a total of 40 hours or more per week (aggregate hours for all paid individuals on the jobsite) for work indicated on the building permit.

(Signature of Homeowner)

(Date Signed)

(Homeowner's Name Printed)

Home Telephone Number _____

Property Address that requires the building permit:

Sworn to before me this _____ day of _____, _____

(County Clerk or Notary Public)

LAWS OF NEW YORK, 1998
CHAPTER 439

The general municipal law is amended by adding a new section 125 to read as follows:

125. ISSUANCE OF BUILDING PERMITS. NO CITY, TOWN OR VILLAGE SHALL ISSUE A BUILDING PERMIT WITHOUT OBTAINING FROM THE PERMIT APPLICANT EITHER:

1. PROOF DULY SUBSCRIBED THAT WORKERS' COMPENSATION INSURANCE AND DISABILITY BENEFITS COVERAGE ISSUED BY AN INSURANCE CARRIER IN A FORM SATISFACTORY TO THE CHAIR OF THE WORKERS' COMPENSATION BOARD AS PROVIDED FOR IN SECTION FIFTY-SEVEN OF THE WORKERS' COMPENSATION LAW IS EFFECTIVE; OR

2. AN AFFIDAVIT THAT SUCH PERMIT APPLICANT HAS NOT ENGAGED AN EMPLOYER OR ANY EMPLOYEES AS THOSE TERMS ARE DEFINED IN SECTION TWO OF THE WORKERS' COMPENSATION LAW TO PERFORM WORK RELATING TO SUCH BUILDING PERMIT.

Implementing Section 125 of the General Municipal Law

1. General Contractors and Business Owners

For businesses listed as the general contractors on building permits, proof that they are in compliance with Section 57 of the Workers' Compensation Law (WCL) is ONE of the following forms that indicate that they are:

- ♦ insured (C-105.2 or U-26.3),
- ♦ self-insured (SI-12), or
- ♦ are exempt (C-105.21),

under the mandatory coverage provisions of the WCL. Any residence that is not a 1, 2, 3 or 4 Family, Owner-occupied Residence is considered a business (income or potential income property) and must prove compliance by filing one of the above forms.

2. Owner-occupied Residences

For homeowners of a 1, 2, 3 or 4 Family, Owner-occupied Residence, proof of their exemption from the mandatory coverage provisions of the Workers' Compensation Law when applying for a building permit is to file form BP-1(3/99).

- ♦ Form BP-1(3/99) shall be filed if the homeowner of a 1, 2, 3 or 4 Family, Owner-occupied Residence is listed as the general contractor on the building permit, and the homeowner:
 - ◊ is performing all the work for which the building permit was issued him/herself,
 - ◊ is not hiring, paying or compensating in any way, the individual(s) that is(are) performing all the work for which the building permit was issued or helping the homeowner perform such work, or
 - ◊ has a homeowner's insurance policy that is currently in effect and covers the property for which the building permit was issued AND the homeowner is hiring or paying individuals a total of less than 40 hours per week (aggregate hours for all paid individuals on the jobsite) for the work for which the building permit was issued.
- ♦ If the homeowner of a 1, 2, 3 or 4 Family, Owner-occupied Residence is hiring or paying individuals a total of 40 hours or MORE in any week (aggregate hours for all paid individuals on the jobsite) for the work for which the building permit was issued, then the homeowner may not file the "Affidavit of Exemption" form, BP-1(3/99), but shall either:
 - ◊ acquire appropriate workers' compensation coverage and provide appropriate proof of that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit (the C-105.2 or U-26.3 form), OR
 - ◊ have the general contractor, (performing the work on the 1, 2, 3 or 4 family, owner-occupied residence (including condominiums) listed on the building permit) provide appropriate proof of workers' compensation coverage, or proof of exemption from that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit.

Application Check List

- Completed Application
- Signed Application By Property Owner
- Proof of ownership (Deed)
 - Two (2) Sets of Plans
 - Plot Plan
- Copy Of Paid Property Taxes
- Insurance (Workmen's Comp)
- Driveway permit (New Home)

