

Town of Mamakating Building Department

2948 Route 209
Wurtsboro, NY 12790
Telephone (845) 888-3030
Fax (845) 888-2707

Application For Building Permit

Date Submitted: ___/___/___ Zone: _____ Section: _____ Block: _____ Lot: _____

Attachments which must be submitted with this Completed Signed Application:

Plot Plan (Must be drawn and show a detailed description of property listing all buildings, accessory structures, well and septic locations with all set back dimensions, i.e. all distances from new construction, existing building/s and accessory structures to rear, each side and front yard lines.

Two Complete Sets of Plans (Showing detailed proposed construction and specifications of proposed construction. Plans and specifications shall describe nature of work to be performed, the materials and equipment to be used and installed and details of structural, mechanical, electrical and plumbing installations.)

Copy of Paid Property Tax Bill

Copy of Deed (Showing ownership)

Please provide: Flood Zone: Yes No Map# _____

Wetland Designation: _____ Map# _____

All fees paid in relation to such an application will be **non-refundable** and **non-transferable**.

Check Proper Permit:

Single Family Dwelling Multi Family Dwelling Commercial Structure Alteration Demolition

Other (describe) _____

Property Owner's Name: _____

Email Address: _____ Cell #: _____

Property Owner's Mailing Address: _____ Phone#: _____

Street Address of Proposed Work: _____

APPLICATION FOR BUILDING PERMIT

Pursuant to New York State Uniform Fire Prevention and Building Code and Town Ordinances

INSTRUCTIONS

- This application must be completed and submitted with proof of ownership to the Code Enforcement Officer
- A plot plan showing location of lot and buildings on premises, relationship to adjoining premises or public streets or areas, and showing well and septic locations must be submitted with this application
- This application must be accompanied by two (2) complete sets of plans showing proposed construction and two (2) complete sets of specifications. Plans and specifications shall describe the nature of the work to be performed, the materials and equipment to be used and installed, details of structural, mechanical, electrical and plumbing installations.
- **New construction and additions impacting an existing septic system must include a septic system design with your as well as all neighboring well locations that has prepared and stamped by a New York State licensed professional engineer.**
- If proposed driveway enters a town road, a town highway permit required. County and State highway permits must be obtained from the appropriate jurisdiction. Gradients may not exceed 14% and surveyor certification of such may be required.
- A certificate of Workmen's Compensation made out to the Town of Mamakating or an appropriate waiver is required for all permits.
- The work covered by this application may not be commenced before the issuance of a building permit.
- Upon approval of this application, the Code Enforcement Officer will issue a building permit to the applicant together with approved duplicate set of plans and specifications. Such permit and approved plans and specifications shall be kept on the premises, available for inspection throughout the progress of the work.
- The clear cutting of more than one acre without approvals for the Town Planning Board is prohibited.

Every building permit shall expire if the work authorized has not commenced within six (6) months after the date of issuance or has not been completed within the time granted for said construction.

Note: No building shall be occupied or used in whole or part for any purpose whatsoever until a Certificate of Occupancy has been granted by the Code Enforcement Officer.

Required Inspections that must be requested by applicant

- Inspection #1:** When footing forms and rebar are in place, prior to concrete
- Inspection #2:** When wall forms and rebar are in place, prior to concrete
- Inspection #3:** When foundation is completed and waterproofed and footing drains are installed and stone, fabric & hay are in place.
- Inspection #4:** When floor has plastic and wire installed, prior to concrete
- Inspection #5:** When framing and roof are completed, stairs must be installed, rough electric installed and inspected, rough plumbing in place with pressure test on for Building Inspector to witness
- Inspection #6:** Ice & Water Shield.
- Inspection #7:** Insulation must be completed – (No Sheetrock) All vertical holes between floors, ceilings, wires, plumbing and etc. must be sealed.
- Inspection #8:** When septic is completely installed and prior to covering Building Inspector to witness. Engineers sign off / verification in writing with signature & stamp.
- Inspection #9:** Final – Building must be completely finished, interior & exterior, septic final, final "as built" survey, 911# posted, water test, well log, driveway final and final electric inspection. All of the above must be obtained prior to final scheduling final walk through inspection.

Please fill in only what applies to your specific type of construction

1. Foundation Type: _____ 2. Numbers of Stories: _____ 3. Occupancy Type: _____
4. Number of Bedrooms: _____ 5. Number Of Bathrooms: _____ 6. Percent (%) of basement finished: _____
7. Total Square Feet Of living area: _____ 8. Siding Type: _____
9. Number of Fireplaces: _____ 10. Number of Fireplace inserts: _____ 11. Number Of Woodstoves: _____
12. Manufacturer: _____ 13. UL listing #: _____
14. Attached or Detached garage: _____ 15. Number Of Bays: _____ 16. Number of Stories: _____
17. Size of garage: _____ 18. Generator: _____ (Provide Brochure)
19. Deck size: _____ 20. Covered Porch size: _____ 21. Enclosed Deck/Porch size: _____
22. Awning Size: _____ (Must provide Brochure from manufacturer and snow load)

Accessory Structures

23. Shed Size: _____ 24. Shed use: _____
25. Pole Barn size: _____ 26. Pole Barn use: _____ 27. Electric: _____ 28. Plumbing: _____
29. Above. Ground pool size: _____ 30. Deck Size: _____
31. In-ground pool size: _____ 32. Fence Description: _____
(You must provide the Brochure for the pool, filter, motor and pool alarm you wish to install)
33. Estimated Cost of Construction: _____ 34. Application Fee: _____
35. Provide a detailed Description of proposed work: _____

The Homeowner OR contractor MUST provide insurance coverage. IF you are the homeowner and are providing insurance – you need to fill out the Affidavit of Exemption and provide a copy of your homeowners insurance. Contractors MUST provide Certificate of Insurance listing Town of Mamakating as the insured. * THIS IS STATE LAW – NO EXCEPTIONS unless you provide us with a WC/DB-100 or WC/DB-101 provided by the State of New York Workers’ Compensation Board stating that you are exempt.

APPLICATION FOR BUILDING PERMIT

Pursuant to New York State Uniform Fire Prevention and Building Code and Town Ordinances

INSTRUCTIONS

- This application must be completed and submitted with proof of ownership to the Code Enforcement Officer
- A plot plan showing location of lot and buildings on premises, relationship to adjoining premises or public streets or areas, and showing well and septic locations must be submitted with this application
- This application must be accompanied by two (2) complete sets of plans showing proposed construction and two (2) complete sets of specifications. Plans and specifications shall describe the nature of the work to be performed, the materials and equipment to be used and installed, details of structural, mechanical, electrical and plumbing installations.
- **New construction and additions impacting an existing septic system must include a septic system design with your as well as all neighboring well locations that has prepared and stamped by a New York State licensed professional engineer.**
- If proposed driveway enters a town road, a town highway permit required. County and State highway permits must be obtained from the appropriate jurisdiction. Gradients may not exceed 14% and surveyor certification of such may be required.
- A certificate of Workmen's Compensation made out to the Town of Mamakating or an appropriate waiver is required for all permits.
- The work covered by this application may not be commenced before the issuance of a building permit.
- Upon approval of this application, the Code Enforcement Officer will issue a building permit to the applicant together with approved duplicate set of plans and specifications. Such permit and approved plans and specifications shall be kept on the premises, available for inspection throughout the progress of the work.
- The clear cutting of more than one acre without approvals for the Town Planning Board is prohibited.

Every building permit shall expire if the work authorized has not commenced within six (6) months after the date of issuance or has not been completed within the time granted for said construction.

Note: No building shall be occupied or used in whole or part for any purpose whatsoever until a Certificate of Occupancy has been granted by the Code Enforcement Officer.

Required Inspections that must be requested by applicant

- Inspection #1:** When footing forms and rebar are in place, prior to concrete
- Inspection #2:** When wall forms and rebar are in place, prior to concrete
- Inspection #3:** When foundation is completed and waterproofed and footing drains are installed and stone, fabric & hay are in place.
- Inspection #4:** When floor has plastic and wire installed, prior to concrete
- Inspection #5:** When framing and roof are completed, stairs must be installed, rough electric installed and inspected, rough plumbing in place with pressure test on for Building Inspector to witness Ice & Water Shield.
- Inspection #6:** Insulation must be completed – (No Sheetrock) All vertical holes between floors, ceilings, wires, plumbing and etc. must be sealed.
- Inspection #8:** When septic is completely installed and prior to covering Building Inspector to witness. Engineers sign off / verification in writing with signature & stamp.
- Inspection #9:** Final – Building must be completely finished, interior & exterior, septic final, final "as built" survey, 911# posted, water test, well log, driveway final and final electric inspection. All of the above must be obtained prior to final scheduling final walk through inspection.

36. Proof of Workman's Compensation coverage (check one):

Workman's Compensation policy enclosed _____

Homeowners Affidavit of Exemption enclosed _____ (Copy of Homeowners insurance)

37. Name of Architect/Engineer: _____ Phone #: _____

38. Name of Contractor/Builder: _____ Phone #: _____

39. Name of Electrician: _____ Phone #: _____

40. Name of Well Driller : _____ Phone #: _____

York State DEC Registration #: _____

41. Name of Plumber: _____ Phone #: _____

Application is hereby made to the Building Department for the issuance of a Building Permit pursuant to the New York State Codes and Ordinances of the Town Mamakating for the construction of buildings, additions, alterations, or for removal, demolition or use of property, as herein described.

- It is the policy of this department to abandon and destroy, without notification, any application that has been left dormant by the owner or agent thereof for 90 days.
- **Every building permit shall expire if the work authorized has not commenced within six (6) months of issuance of permit (Meaning no inspection preformed within the first 6months) or has not been completed within allotted expiration date.**
- **NO BUILDING/ACCESSORY STRUCTURE SHALL BE OCCUPIED OR USED IN WHOLE OR PART FOR ANY PURPOSE WHATSOEVER UNTIL A CERTIFICATE OF OCCUPANCY OR COMPLIANCE HAS BEEN GRANTED BY THE BUILDING INSPECTOR.**

The applicant has read the above and by signing below agrees to comply with all applicable laws, ordinances, and regulations:

Signature of property owner

Phone Number

Date

Mailing Address

Please Note
Inspections Must Be Scheduled 24 Hours In Advance
By Speaking Directly To The Clerk
845-888-3030 or 845-888-3032
***INSPECTIONS REQUESTED ON THE VOICE MAIL WILL NOT BE SCHEDULED ***
A FINAL INSPECTION IS REQUIRED FOR ALL BUILDING PERMITS

APPLICATION FOR BUILDING PERMIT

Pursuant to New York State Uniform Fire Prevention and Building Code and Town Ordinances

INSTRUCTIONS

- This application must be completed and submitted with proof of ownership to the Code Enforcement Officer
- A plot plan showing location of lot and buildings on premises, relationship to adjoining premises or public streets or areas, and showing well and septic locations must be submitted with this application
- This application must be accompanied by two (2) complete sets of plans showing proposed construction and two (2) complete sets of specifications. Plans and specifications shall describe the nature of the work to be performed, the materials and equipment to be used and installed, details of structural, mechanical, electrical and plumbing installations.
- **New construction and additions impacting an existing septic system must include a septic system design with your as well as all neighboring well locations that has prepared and stamped by a New York State licensed professional engineer.**
- If proposed driveway enters a town road, a town highway permit required. County and State highway permits must be obtained from the appropriate jurisdiction. Gradients may not exceed 14% and surveyor certification of such may be required.
- A certificate of Workmen's Compensation made out to the Town of Mamakating or an appropriate waiver is required for all permits.
- The work covered by this application may not be commenced before the issuance of a building permit.
- Upon approval of this application, the Code Enforcement Officer will issue a building permit to the applicant together with approved duplicate set of plans and specifications. Such permit and approved plans and specifications shall be kept on the premises, available for inspection throughout the progress of the work.
- The clear cutting of more than one acre without approvals for the Town Planning Board is prohibited.

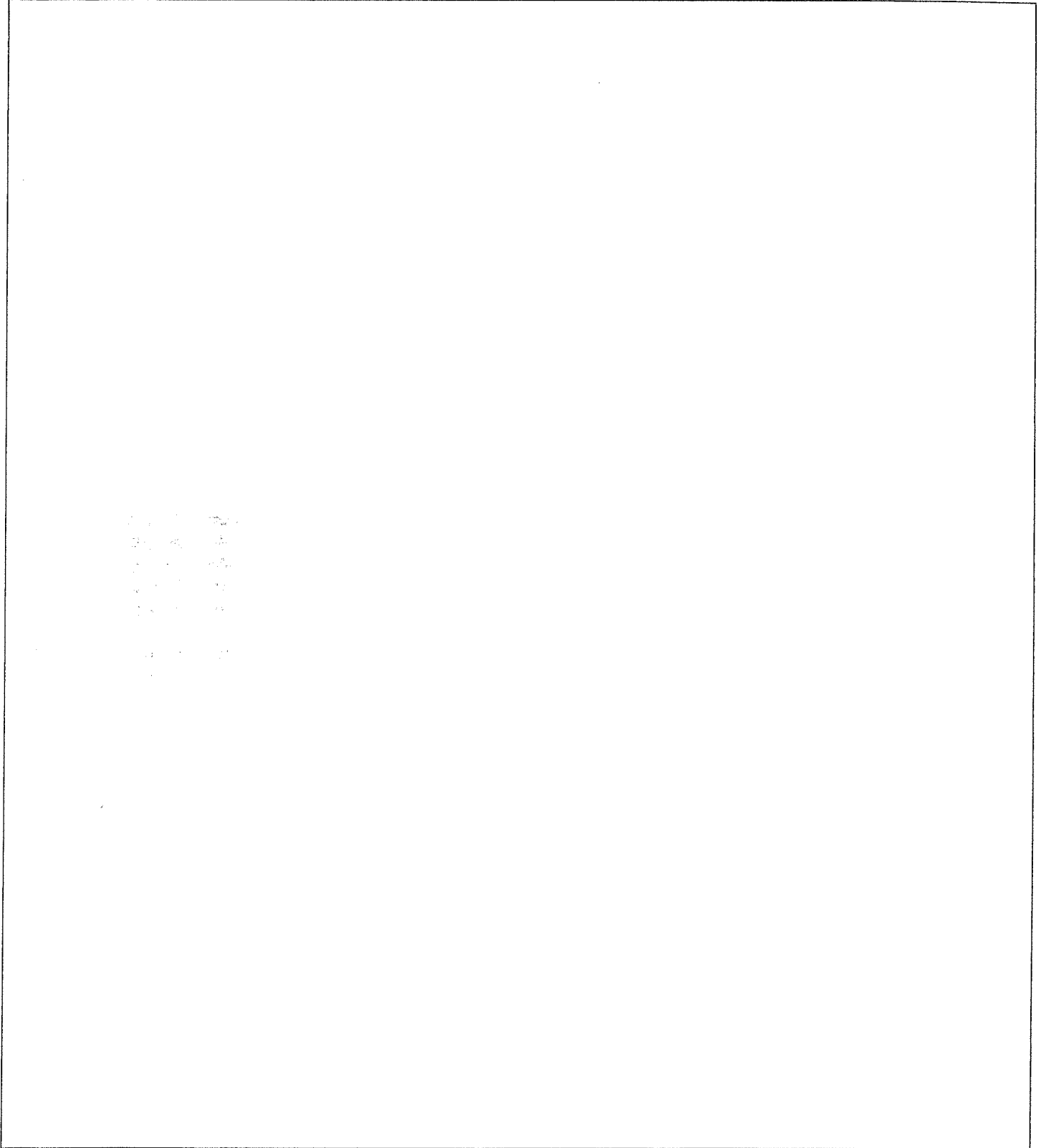
Every building permit shall expire if the work authorized has not commenced within six (6) months after the date of issuance or has not been completed within the time granted for said construction.

Note: No building shall be occupied or used in whole or part for any purpose whatsoever until a Certificate of Occupancy has been granted by the Code Enforcement Officer.

Required Inspections that must be requested by applicant

- Inspection #1:** When footing forms and rebar are in place, prior to concrete
- Inspection #2:** When wall forms and rebar are in place, prior to concrete
- Inspection #3:** When foundation is completed and waterproofed and footing drains are installed and stone, fabric & hay are in place.
- Inspection #4:** When floor has plastic and wire installed, prior to concrete
- Inspection #5:** When framing and roof are completed, stairs must be installed, rough electric installed and inspected, rough plumbing in place with pressure test on for Building Inspector to witness Ice & Water Shield.
- Inspection #6:** Insulation must be completed – (No Sheetrock) All vertical holes between floors, ceilings, wires, plumbing and etc. must be sealed.
- Inspection #8:** When septic is completely installed and prior to covering Building Inspector to witness. Engineers sign off / verification in writing with signature & stamp.
- Inspection #9:** Final – Building must be completely finished, interior & exterior, septic final, final “as built” survey, 911# posted, water test, well log, driveway final and final electric inspection. All of the above must be obtained prior to final scheduling final walk through inspection.

Plot Diagram: Clearly Locate ALL Buildings/Structures, Well & Septic. Locate proposed Alteration to your property site plan for which you are applying.



Affidavit of Exemption to Show Specific Proof of Workers' Compensation Insurance Coverage for a 1, 2, 3 or 4 Family, Owner-occupied Residence

Under penalty of perjury, I certify that I am the owner of the 1, 2, 3 or 4 family, **owner-occupied** residence (including condominiums) listed on the building permit that I am applying for, and I am not required to show specific proof of workers' compensation insurance coverage for such residence because (please check the appropriate box):

- I am performing all the work for which the building permit was issued.
- I am not hiring, paying or compensating in any way, the individual(s) that is(are) performing all the work for which the building permit was issued or helping me perform such work.
- I have a homeowners insurance policy that is currently in effect and covers the property listed on the attached building permit AND am hiring or paying individuals a total of less than 40 hours per week (aggregate hours for all paid individuals on the jobsite) for which the building permit was issued.

I also agree to either:

- ♦ acquire appropriate workers' compensation coverage and provide appropriate proof of that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit if I need to hire or pay individuals a total of 40 hours or more per week (aggregate hours for all paid individuals on the jobsite) for work indicated on the building permit; OR
- ♦ have the general contractor, performing the work on the 1, 2, 3 or 4 family, **owner-occupied** residence (including condominiums) listed on the building permit that I am applying for, provide appropriate proof of workers' compensation coverage or proof of exemption from that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit if the project takes a total of 40 hours or more per week (aggregate hours for all paid individuals on the jobsite) for work indicated on the building permit.

(Signature of Homeowner)

(Date Signed)

(Homeowner's Name Printed)

Home Telephone Number _____

Property Address that requires the building permit:

Sworn to before me this _____ day of _____, _____.
_____ (County Clerk or Notary Public)

LAWS OF NEW YORK, 1998
CHAPTER 439

The general municipal law is amended by adding a new section 125 to read as follows:

125. ISSUANCE OF BUILDING PERMITS. NO CITY, TOWN OR VILLAGE SHALL ISSUE A BUILDING PERMIT WITHOUT OBTAINING FROM THE PERMIT APPLICANT EITHER:

1. PROOF DULY SUBSCRIBED THAT WORKERS' COMPENSATION INSURANCE AND DISABILITY BENEFITS COVERAGE ISSUED BY AN INSURANCE CARRIER IN A FORM SATISFACTORY TO THE CHAIR OF THE WORKERS' COMPENSATION BOARD AS PROVIDED FOR IN SECTION FIFTY-SEVEN OF THE WORKERS' COMPENSATION LAW IS EFFECTIVE; OR

2. AN AFFIDAVIT THAT SUCH PERMIT APPLICANT HAS NOT ENGAGED AN EMPLOYER OR ANY EMPLOYEES AS THOSE TERMS ARE DEFINED IN SECTION TWO OF THE WORKERS' COMPENSATION LAW TO PERFORM WORK RELATING TO SUCH BUILDING PERMIT.

Implementing Section 125 of the General Municipal Law

1. General Contractors and Business Owners

For businesses listed as the general contractors on building permits, proof that they are in compliance with Section 57 of the Workers' Compensation Law (WCL) is ONE of the following forms that indicate that they are:

- ◆ insured (C-105.2 or U-26.3),
- ◆ self-insured (S1-12), or
- ◆ are exempt (C-105.21),

under the mandatory coverage provisions of the WCL. Any residence that is not a 1, 2, 3 or 4 Family, Owner-occupied Residence is considered a business (income or potential income property) and must prove compliance by filing one of the above forms.

2. Owner-occupied Residences

For homeowners of a 1, 2, 3 or 4 Family, Owner-occupied Residence, proof of their exemption from the mandatory coverage provisions of the Workers' Compensation Law when applying for a building permit is to file form BP-1(3/99).

- ◆ Form BP-1(3/99) shall be filed if the homeowner of a 1, 2, 3 or 4 Family, Owner-occupied Residence is listed as the general contractor on the building permit, and the homeowner:
 - ◇ is performing all the work for which the building permit was issued him/herself,
 - ◇ is not hiring, paying or compensating in any way, the individual(s) that is(are) performing all the work for which the building permit was issued or helping the homeowner perform such work, or
 - ◇ has a homeowner's insurance policy that is currently in effect and covers the property for which the building permit was issued AND the homeowner is hiring or paying individuals a total of less than 40 hours per week (aggregate hours for all paid individuals on the jobsite) for the work for which the building permit was issued.
- ◆ If the homeowner of a 1, 2, 3 or 4 Family, Owner-occupied Residence is hiring or paying individuals a total of 40 hours or MORE in any week (aggregate hours for all paid individuals on the jobsite) for the work for which the building permit was issued, then the homeowner may not file the "Affidavit of Exemption" form, BP-1(3/99), but shall either:
 - ◇ acquire appropriate workers' compensation coverage and provide appropriate proof of that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit (the C-105.2 or U-26.3 form), OR
 - ◇ have the general contractor, (performing the work on the 1, 2, 3 or 4 family, owner-occupied residence (including condominiums) listed on the building permit) provide appropriate proof of workers' compensation coverage, or proof of exemption from that coverage on forms approved by the Chair of the NYS Workers' Compensation Board to the government entity issuing the building permit.

Application Check List

- Completed Application
- Signed Application By Property
Owner
 - Proof of ownership (Deed)
 - Two (2) Sets of Plans
 - Plot Plan
 - Copy Of Paid Property Taxes
 - Insurance (Workmen's Comp)
 - Driveway permit (New Home)

**Please allow a minimum of 5 days
for review process**

